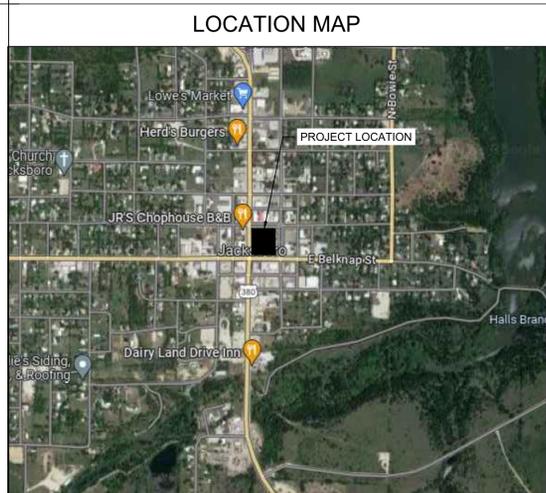


# CITY OF JACKSBORO TxCDBG DOWNTOWN IMPROVEMENTS

## 100% CONSTRUCTION DOCUMENTS

### Jacksboro Square



AUSTIN, TEXAS/ CROSSROADS, TEXAS/ PLANO, TEXAS/ SANGER, TEXAS

CITY OF JACKSBORO  
112 WEST BELKNAP STREET  
JACKSBORO, TX 76458  
(940) 567-6321

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1405 West Chapman Drive  
Sanger, Texas 76266  
Phone 940.458.7503



04/10/2024  
TDLR # TABS2024010701

JACKSBORO SQUARE SITE  
IMPROVEMENTS

JACKSBORO SQUARE  
JACKSBORO, TX 76458

11/14/2023 12:29:21 PM  
Issued Date: 11/20/2023  
Project No: 230235

Drawn By: XXX  
Checked By: XXX  
Designed By: XXX

Issue Record		
#	Description	Date
30%	Constr. Docs.	11/20/2023
	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

DESIGN PHASE

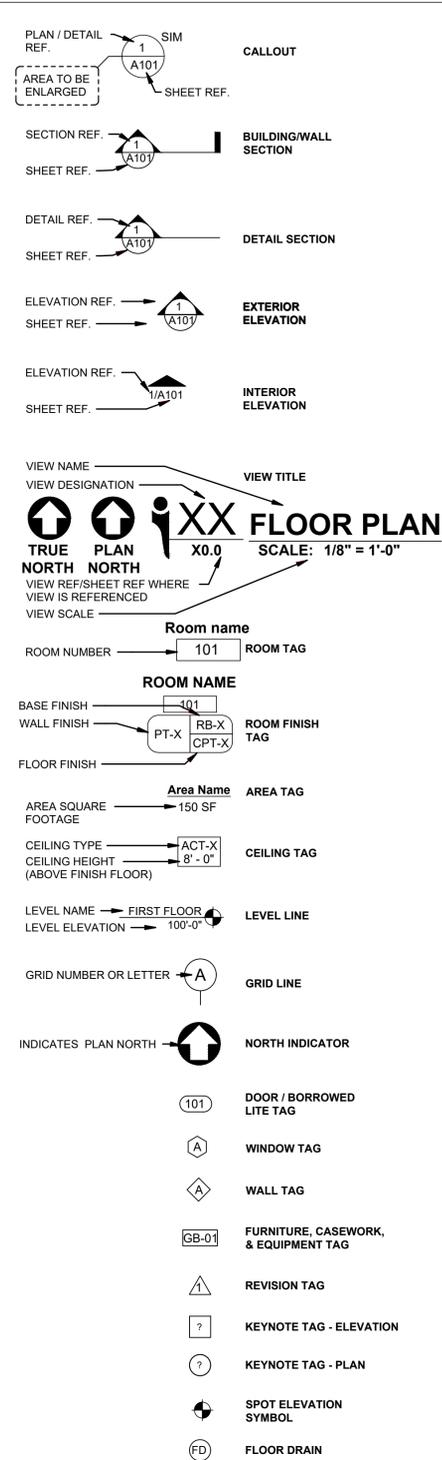
COVER SHEET

G0.1

STANDARD ABBREVIATIONS

Table of standard abbreviations with columns for symbol, description, and category. Includes items like AT (Anchor Bolt), AC (Acoustical), AD (Additional), etc.

STANDARD DETAILING SYMBOLS



CODE ANALYSIS

Table for code analysis with columns for Category, Codes in Effect, Building Square Footage, Building, Mechanical, Electrical, Plumbing, Accessibility, Energy Code, Building Use Classification, Building Construction Type, Fire Protection System, Fire Resistive Construction, Means of Egress, Occupant Load, Maximum Travel Distance, Common Path of Egress Travel, Number of Exits Required, Maximum Distance Between Exits, Corridor Width, Corridor Height, Dead End Corridors, Exterior Area of Assisted Refuge, Stair Construction, Stair Enclosure, Enclosure Penetrations, Stair Width, Stair Headroom, Stair Landing Width, Allowable Landing Reduction by Doors, Maximum Vertical Rise w/out Landing, Stair Tread Depth, Stair Riser Height, Signage, Elevator Openings, Elevator Cab Size, Signage, Cab Controls, Interior Environment, Natural Ventilation, Natural Light, Space Dimensions, Ceiling Heights, Interior Finishes, Exit Enclosures and Passageways, Corridors, Rooms and Enclosed Spaces, Roofing, Fire Classification, Attic Ventilation, Roof Covering, Roof Slope, Equipment on Roof, Roof Access, Roof Hatch Protection, Plumbing, Plumbing Calculations per Code.

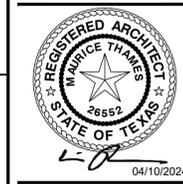
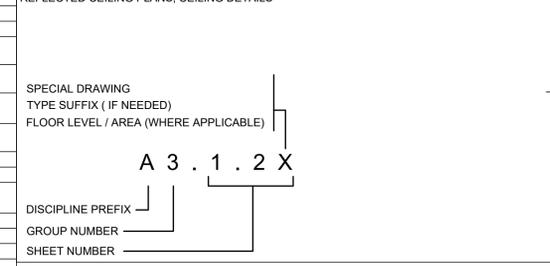
PROJECT GENERAL NOTES

- 1. CONTRACTORS BIDDING OR PROPOSING ANY PORTION OF THE WORK SHALL BE EXPECTED TO INCLUDE IN THEIR PROPOSAL ALL LABOR AND MATERIALS REQUIRED FOR A COMPLETE PROJECT WHETHER OR NOT SPECIFICALLY ITEMIZED OR IDENTIFIED IN THE DRAWINGS AND SPECIFICATIONS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.
3. CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIAL, TOOLS, EQUIPMENT, ETC. FOR THE COMPLETE CONSTRUCTION OF WORK INDICATED AND SPECIFIED BY THE DRAWINGS AND SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
5. CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES RELATED TO THEIR WORK.
6. ALL WORK SHALL BE NEAT, COMPLETE AND BE PERFORMED IN A WORKMANLIKE MANNER PER INDUSTRY HIGH QUALITY STANDARDS.
7. CONTRACTOR SHALL ESTABLISH A SYSTEM FOR TESTING AND INSPECTING THEIR WORK IN THE ROUGH AND FINISHED STATE TO ENSURE QUALITY PERFORMANCE AND COMPLIANCE WITH THE INTENT OF THE DRAWINGS AND SPECIFICATIONS.
8. SUBSTITUTIONS OF MATERIALS SPECIFIED ON THE DRAWINGS AND SPECIFICATIONS MUST BE APPROVED BY THE OWNER/ARCHITECT IN ADVANCE.
9. CONTRACTOR SHALL VERIFY ALL DRAWINGS, DIMENSIONS, AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. COMMENCEMENT OF ANY TRADE OR PORTION OF WORK SHALL BE INTERPRETED BY THE OWNER/ARCHITECT TO MEAN THAT THE CONDITIONS WERE ACCEPTABLE AT COMMENCEMENT.
10. ALL WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR AFTER SUBSTANTIAL COMPLETION AS DEFINED BY THE A201.
11. ALL PRODUCTS AND MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, AND INSTALLATION PROCEDURES.
12. ANY DISCREPANCY WHICH IS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE IMMEDIATELY REPORTED TO ARCHITECT, IN WRITING, VIA THE GENERAL CONTRACTOR.
13. CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR RESPECTIVE TRADES WITH THE WORK OF OTHERS. THE WORK OF EACH TRADE SHALL BE DESIGNED/INSTALLED SO AS TO PROVIDE CLEARANCES FOR OTHER TRADES.
14. DO NOT SCALE THE DRAWINGS. IN INSTANCES OF CONFLICT, LARGE SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS, AND MORE RESTRICTIVE REQUIREMENTS FOR CONSTRUCTION SHALL TAKE PRECEDENCE OVER LESS RESTRICTIVE REQUIREMENTS, INCLUDING IF THE MORE RESTRICTIVE REQUIREMENT IS MORE COSTLY.
15. ANY DEFECTS AND FAULTS IN WORKMANSHIP AND MATERIALS SHALL BE REPAIRED BY THE CONTRACTOR.
16. CONTRACTORS SHALL LEAVE THE WORK SITE CLEAN AND READY FOR TRADES TO FOLLOW EACH DAY. CONTRACTORS SHALL BE RESPONSIBLE FOR REMOVAL OF THEIR DEBRIS AND RUBBISH FROM THE WORK AREA.
17. CONTRACTORS SHALL BE RESPONSIBLE FOR ARRANGING FOR THE REQUIRED INDIVIDUAL TRADE INSPECTIONS OF THEIR WORK REQUIRED BY THE GOVERNING MUNICIPALITY OR OTHER JURISDICTIONAL AGENCIES.
18. CONCRETE CUTTING, PATCHING, CORING, ETC. TO BE COORDINATED AND APPROVED BY ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF ANY WORK.
19. FINISH FLOOR ELEVATIONS REFER TO TOP OF CONCRETE SLAB U.N.O.

\*THIS NOTE APPLIES TO ALL DISCIPLINES IN THE DRAWING SET
IN THE EVENT THERE ARE ANY DISCREPANCIES BETWEEN DISCIPLINES THAT THE CONTRACTOR SHALL NOTIFY EIKON WITHIN 48 HOURS OF ANY SUCH CONFLICTS AND PRIOR TO COMMENCEMENT OF ANY WORK. IF ANY WORK HAS BEEN COMMENCED WITHOUT NOTIFICATION TO THE ARCHITECT THE COST AND RESPONSIBILITY TO REMEDY THE CONFLICT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
THE ARCHITECT AND ENGINEER SHALL BE HELD HARMLESS FOR ANY INSTALLATIONS NOT PREVIOUSLY REVIEWED OR DESIGNED.

Table for Discipline Prefix with columns for Discipline, Description, and Code. Includes G - GENERAL, C - CIVIL, L - LANDSCAPING, AD - ARCHITECTURAL DEMOLITION, A - ARCHITECTURAL, S - STRUCTURAL, M - MECHANICAL, E - ELECTRICAL, P - PLUMBING, K - FOOD SERVICE, F - FIRE PROTECTION, I - SECURITY, T - TELECOMMUNICATIONS.

DRAWING NUMBERING SYSTEM
DRAWINGS ARE DIVIDED INTO NINE SPECIFIC GROUPS (X1 THROUGH X9). DISCIPLINES ARE DIVIDED INTO SIMILAR GROUPS WHICH CORRESPOND TO THE ARCHITECTURAL GROUPS. A2, S2, M2, P2, E2, ETC. ARE ALWAYS FLOOR PLANS.
Multiple Sheet Numbering
G0 COVER SHEET, GENERAL INFORMATION, NOTES A1 SITE PLAN, SITE INFORMATION, SITE DETAILS A2 PLANS AND ENLARGED PLANS A3 EXTERIOR ELEVATIONS A4 BUILDING/WALL SECTIONS A5 PLAN DETAILS A6 SCHEDULES A7 INTERIOR ELEVATIONS A8 INTERIOR DETAILS (TOILET PLAN, ELEVATIONS & SCHEDULES) A9 REFLECTED CEILING PLANS, CEILING DETAILS



TDLR # TABS2024010701

JACKSBORO SQUARE SITE IMPROVEMENTS
JACKSBORO SQUARE
JACKSBORO, TX 76458

Table with project metadata: 11/14/2023 12:29:21 PM, Issued Date: 11/20/2023, Project No: 230235, Drawn By: XXX, Checked By: XXX, Designed By: XXX.

DESIGN PHASE

PROJECT DATA

G0.2











**LEGEND**

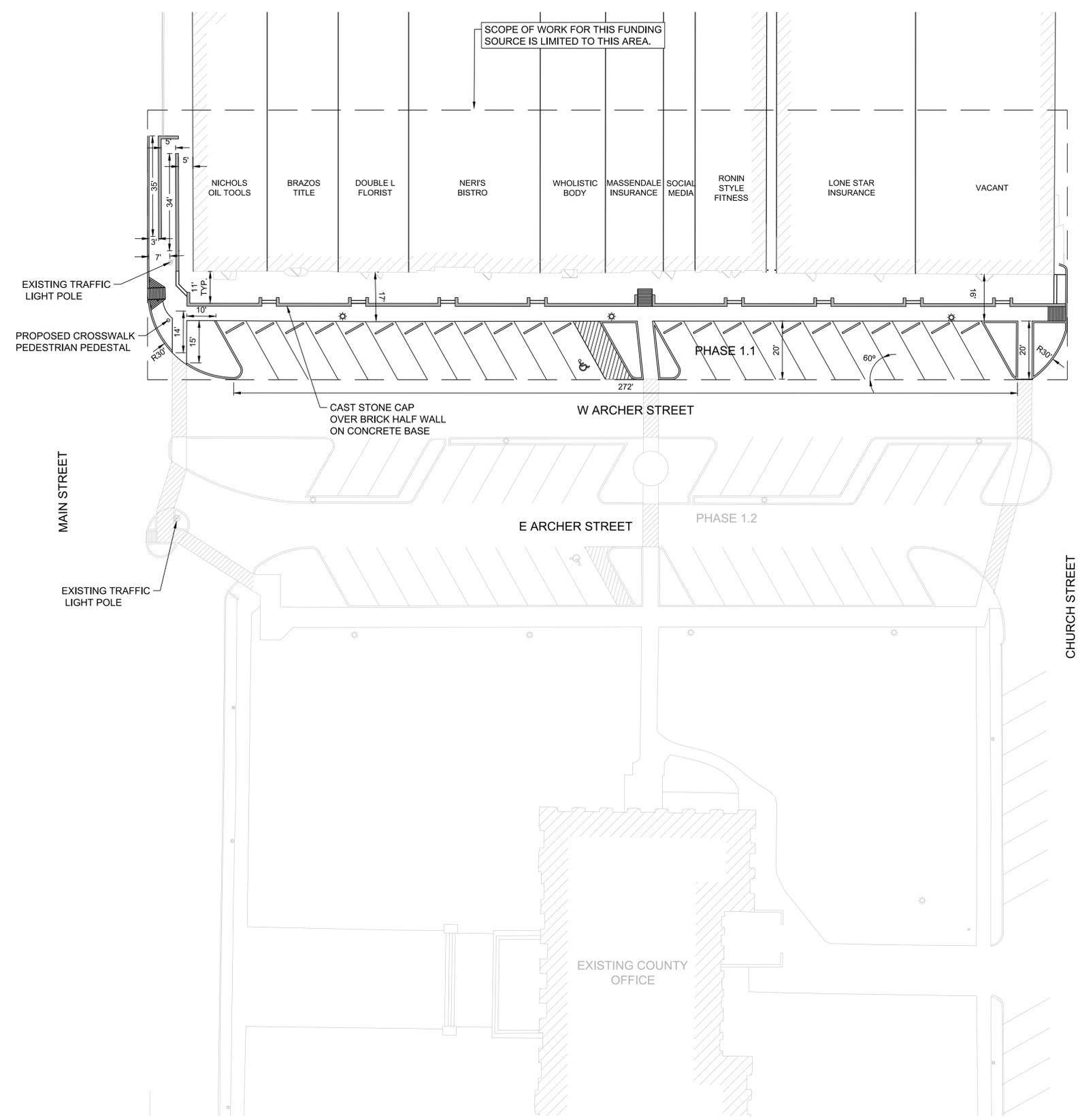
- FRONT OF CURB
- BACK OF CURB
- SIDEWALK
- PARKING PAVING STRIPING
- BUILDING SEPARATION
- & HANDICAP PARKING STRIPE
- ∨ EXISTING DOOR
- PROPOSED CURB STOP
- WALL WALKWAY SEPARATION
- STAIRSTEPS
- ⊕ NEW POLE LIGHT (REFER TO ARCH)
- ⊙ EXISTING POLE LIGHT
- × EXISTING TELEPHONE GROUND STRUCTURE
- AWNING POLE PLACEMENT
- ⊕ EXISTING POWER POLE
- DOUBLE ADA RAMP WITH RESTING PAD
- ▨ FLANGED ADA RAMP



**!!WARNING!!**  
THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES (SHOWN OR NOT SHOWN).

**FLOODNOTE**  
ACCORDING TO THE F.I.R.M NO. 48237C0306A, THE SUBJECT PROPERTY LIES IN ZONE "X", AND DOES NOT LIE WITHIN A FLOOD PRONE HAZARD AREA, PER MAP REVISION DATED, FEBRUARY 12, 2021.

- NOTES:**
1. ANY RADII NOT LABELED IS ASSUMED TO BE 3 FEET.
  2. CONTRACTOR SHALL MAINTAIN FIRE ACCESS THROUGH ARCHER STREET UNLESS CITY APPROVAL FOR STREET CLOSURE IS OBTAINED.
  3. CONTRACTOR SHALL MAINTAIN PEDESTRIAN ACCESS TO ALL BUSINESSES EXCEPT DURING IMMEDIATE CONSTRUCTION THAT WOULD BLOCK ACCESS TO THE BUSINESS. NO BUSINESS SHALL LOSE PUBLIC ACCESS FOR MORE THAN 24 HOURS.



FOR BID ONLY  
NOT FOR CONSTRUCTION



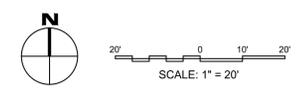
**JACKBOROS DOWNTOWN IMPROVEMENTS**  
ARCHER ST AND CHURCH ST  
CITY OF JACKSBORO, TEXAS

Issued Date: 03/06/24  
Project No: 230235  
Drawn By: JR/RK  
Checked By: IN  
Designed By: JR

Issue Record		
#	Description	Date

DESIGN PHASE

ARCHER STREET SITE PLAN PHASE 1.1













































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 JACKSBORO, TX 76458

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	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

DESIGN PHASE

ARCHITECTURAL  
 EXISTING CONITIONS  
 AND DEMOLITION SITE  
 PLAN

AD1.1

SITE PLAN NOTES

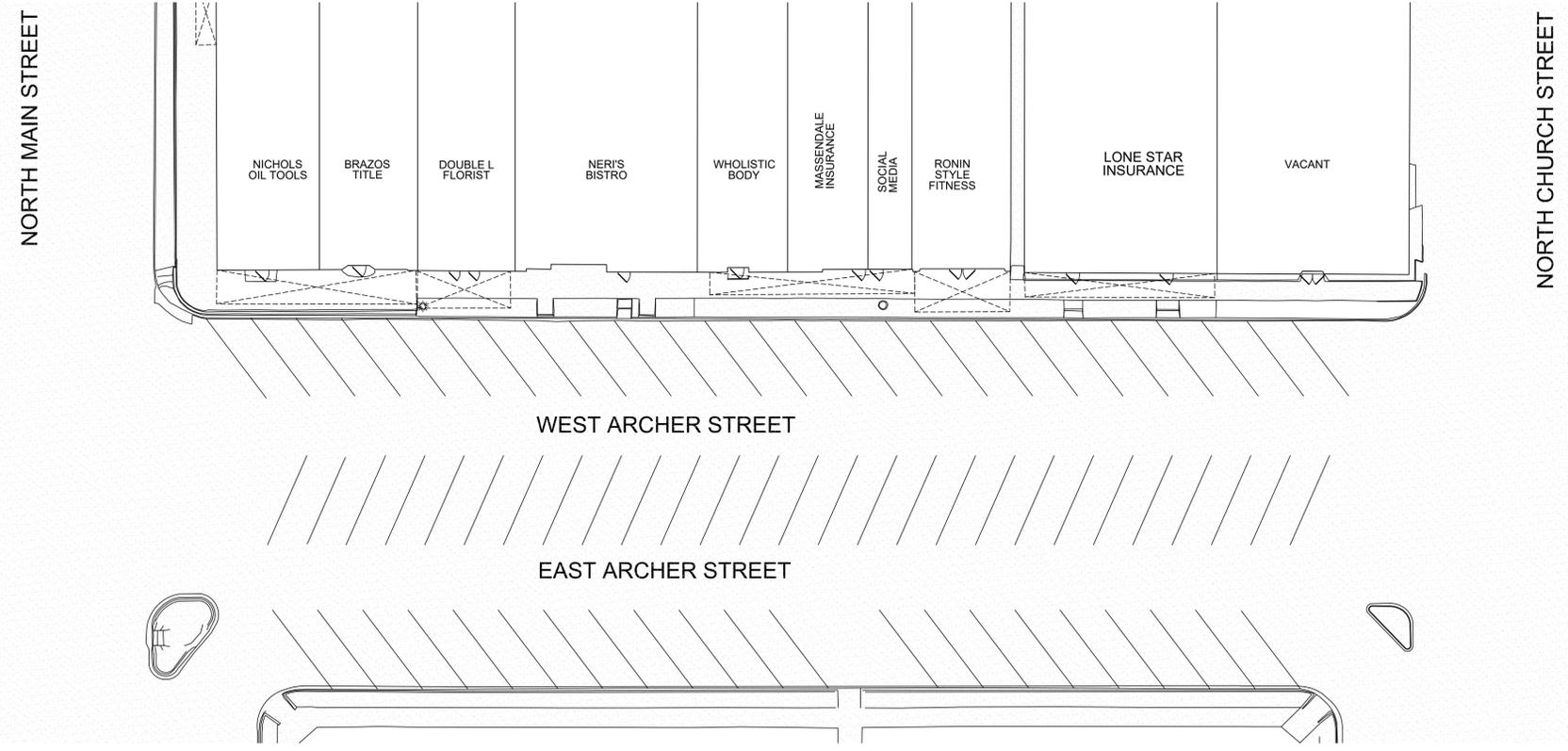
1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY.
2. REFER TO CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO, SITE GEOMETRY, DIMENSIONAL CONTROL, UTILITIES, PAVING, GRADING, DRAINAGE, STRIPPING, SITE ABS ACCESSIBLE SIGNAGE, AND SITE RELATED DETAILS.
3. SHEET A2.4 IS FOR REFERENCE OF DESIGN INTENT AND OFFICIAL DRAWINGS SHOULD BE USED BY A LICENSE LANDSCAPE DESIGN PROFESSIONAL.

DEMOLITION PLAN NOTES

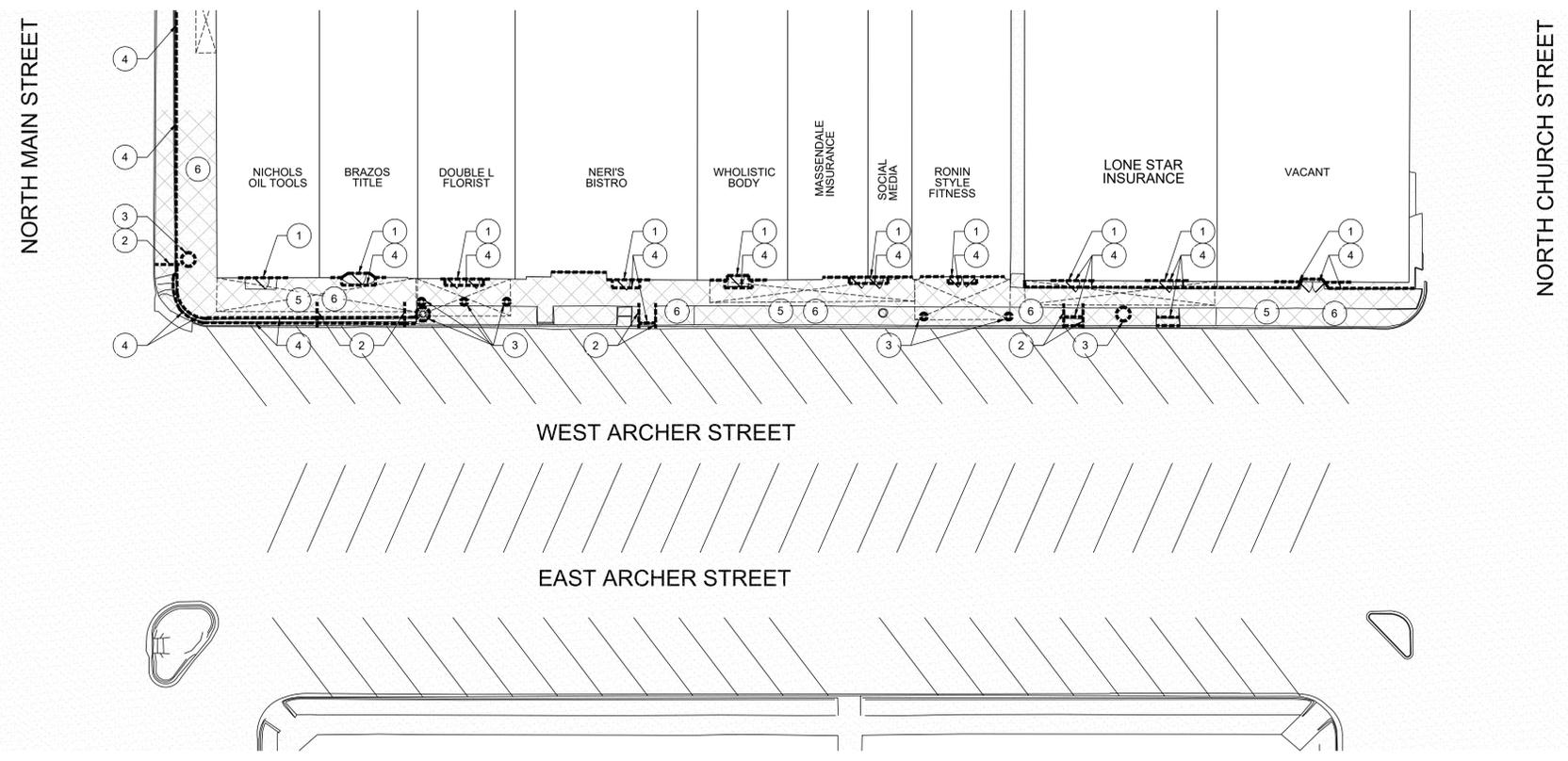
1. VISIT SITE AND VERIFY EXISTING CONDITIONS PRIOR TO BID SUBMISSION. DISCREPANCIES BETWEEN CONSTRUCTION INDICATED ON DRAWINGS AND ACTUAL SITE CONDITIONS SHALL BE BROUGHT TO ARCHITECT'S ATTENTION IMMEDIATELY IN WRITING.
2. TEMPORARILY STORE ITEMS INDICATED AS "DELIVER TO THE OWNER" IN ONSITE LOCATION DESIGNATED BY THE OWNER. OWNER SHALL MOVE ITEM(S), AS NECESSARY, TO NOT HINDER OR DELAY PERFORMANCE OF WORK IN AREA.
3. ITEMS INDICATED "TO REMAIN" THAT ARE DAMAGED DURING THE PERFORMANCE OF THE DEMOLITION WORK SHALL BE REPORTED TO OWNER'S REPRESENTATIVE IMMEDIATELY, AND SUBMIT A REPAIR SOLUTION TO ARCHITECT FOR REVIEW.
4. COORDINATE DEMOLITION WORK WITH NEW CONSTRUCTION WORK IN EACH AREA OF DEMOLITION. EXISTING CONSTRUCTION IN AREAS ADJACENT TO DEMOLITION WORK SHALL BE PATCHED AND REPAIRED TO MATCH ORIGINAL EXISTING CONDITION AS REQUIRED TO PROVIDE FOR NEW CONSTRUCTION WORK IN AREA OF DEMOLITION.
5. AT LOCATIONS WHERE A PORTION OF EXISTING CONSTRUCTION IS TO BE REMOVED AND PREPARED FOR NEW INFILL CONSTRUCTION, OR AN OPENING IN A WALL, ROOF, OR FLOOR IS CREATED BY DEMOLITION WORK, CONSTRUCT INFILL WITH SAME MATERIALS AND METHOD OF CONSTRUCTION AS EXISTING ADJACENT CONSTRUCTION, UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL DRAWINGS FOR INFILL CONSTRUCTION. INFILL CONSTRUCTION SHALL SMOOTHLY BUTT ADJACENT SURFACES AND MATCH THE FINISH, UNO.
6. AT LOCATIONS WHERE AN ITEM IS TO BE REMOVED FROM A SURFACE THAT IS TO REMAIN, PATCH AND REPAIR EXISTING SURFACE TO MATCH EXISTING ADJACENT SURFACE, UNLESS INDICATED OTHERWISE.
7. EXISTING ITEMS ANCHORED TO CONSTRUCTION THAT IS INDICATED TO BE DEMOLISHED SHALL BE CONSIDERED A PART OF DEMOLISHED CONSTRUCTION AND SHALL BE DEMOLISHED WITH THE INDICATED CONSTRUCTION, UNLESS NOTED OTHERWISE.
8. IN CONDITIONS WHERE PAVING OR CURB IS DEMOLISHED CREATING A DISSIMILAR ELEVATION IN ADJACENT SURFACES, INSTALL AN APPROVED LEVELING MATERIAL TO BRING LOWER FLOOR FINISH ELEVATION UP TO AN ELEVATION FLUSH WITH ADJACENT FLOOR.
9. IF EXISTING CONSTRUCTION IS REVEALED NOT CONSTRUCTED OR FINISHED IN A MANNER THAT MATCHES ADJACENT SURFACES, PATCH AREA AS NECESSARY WITH APPROPRIATE MATERIALS AND METHODS OF CONSTRUCTION TO MATCH EXISTING ADJACENT FINISH, OR PREPARE SURFACE FOR INSTALLATION OF NEW FINISH. CONTACT OWNER'S REPRESENTATIVE AS SOON AS POSSIBLE SO THAT CONCEALED CONSTRUCTION MAY BE IDENTIFIED AND SCOPE OF POSSIBLE ADDITIONAL WORK DETERMINED.
10. WHEN EXISTING SURFACE IS INDICATED TO BE "PATCHED AND PAIRED" OR "PREPARED" TO RECEIVE NEW FINISH MATERIAL, PROVIDE A CONSTRUCTION SURFACE THAT IS CAPABLE OF RECEIVING NEW FINISH MATERIAL.
11. WHEN THE TERM "ENTIRETY" IS DIRECTED TO A SPECIFIC ITEM OR ASSEMBLY, DEMOLISH AND REMOVE IDENTIFIED ITEM AND ASSOCIATED CONSTRUCTION PERTINENT TO THE ITEM, INCLUDING, BUT NOT LIMITED TO UNDERGROUND AND CONCEALED CONSTRUCTION, SUCH AS FOOTINGS AND FOUNDATIONS, SEWER, PLUMBING, AND ELECTRICAL WORK. THIS DEMOLITION WORK SHALL BE COORDINATED WITH THE CIVIL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL, AND TECHNOLOGY DRAWINGS.

ARCHITECTURAL DEMOLITION KEYNOTES

- 1 PROVIDE PLYWOOD PANELS TO COVER AT ALL OPENINGS OF THE RETAIL SPACES OF THE BUILDING TO PREVENT DAMAGE DURING THE CONSTRUCTION DEMOLITION PROCESS.
  - 2 CUT AND REMOVE ALL OF THE METAL RAILINGS FROM THE PLATFORM.
  - 3 SAW-CUT AROUND CITY UTILITY POLES AND ROOF CANOPIES TO RETAIN THEIR STRUCTURAL INTEGRITY OF THE VERTICAL FIXTURE WITH SUITABLE CLEARANCE ADVISED BY THE PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO DEMOLITION OF THE CONCRETE PLATFORM AND SIDEWALK.
  - 4 DEMOLISH ALL CONCRETE STEPS AT THE ENTRIES OF EACH RETAIL LOCATION.
  - 5 DEMOLISH ALL CONCRETE PLANTERS, FIXED ELEMENTS, DAMAGED CURBS FROM LOOSE DEBRIS.
  - 6 DEMOLISH AND REMOVE CONCRETE SIDEWALK PLATFORM, REBAR AND ASSOCIATED DEBRIS TO BE DISPOSED AT AN APPROVED OFFSITE LOCATION. REFER TO CIVIL FOR LIMITS OF DEMOLITION.
  - 7 SAW-CUT AND SALVAGE EXISTING UTILITY POLE FOR REUSE IN NEW CONSTRUCTION.
- = DEMOLITION AREA



TRUE PLAN NORTH NORTH  
**2 EXISTING CONDITIONS ARCHITECTURAL SITE PLAN**  
 AD1.1 SCALE: 1" = 20'-0"



TRUE PLAN NORTH NORTH  
**1 ARCHITECTURAL DEMOLITION SITE PLAN**  
 AD1.1 SCALE: 1" = 20'-0"

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04/10/2024

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**JACKSBORO SQUARE SITE IMPROVEMENTS**  
 JACKSBORO SQUARE  
 JACKSBORO, TX 76458

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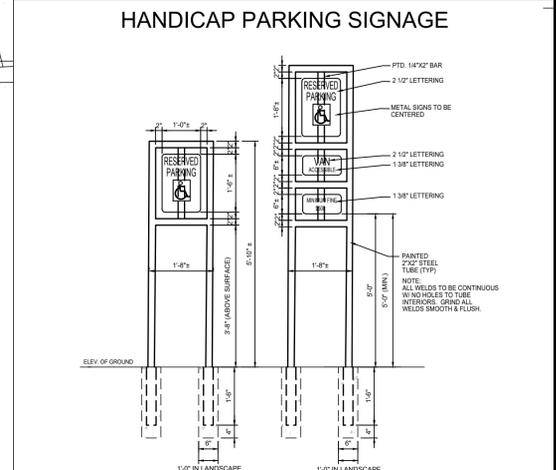
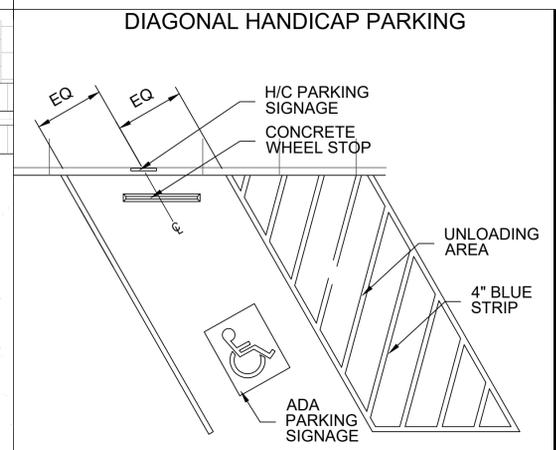
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Checked By:	XXX
Designed By:	XXX

Issue Record		
#	Description	Date
30%	Constr. Docs.	11/20/2023
	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

DESIGN PHASE

ARCHITECTURAL SITE PLAN

**A1.2**

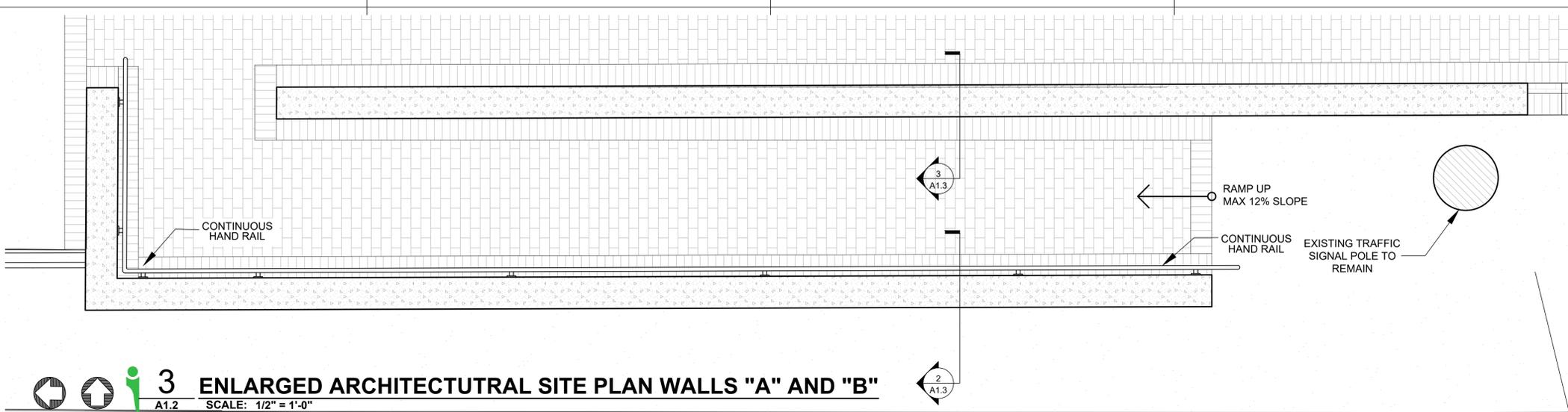


**SITE PLAN NOTES**

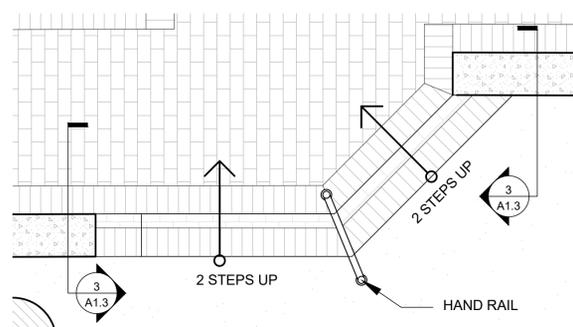
1. ARCHITECTURAL SITE PLAN IS FOR REFERENCE ONLY.
2. REFER TO CIVIL DRAWINGS FOR ALL SITE CONSTRUCTION INFORMATION INCLUDING BUT NOT LIMITED TO, SITE GEOMETRY, DIMENSIONAL CONTROL, UTILITIES, PAVING, GRADING, DRAINAGE, STRIPPING, SITE ABS ACCESSIBLE SIGNAGE, AND SITE RELATED DETAILS.
3. SHEET A2.4 IS FOR REFERENCE OF DESIGN INTENT AND OFFICIAL DRAWINGS SHOULD BE USED BY A LICENSE LANDSCAPE DESIGN PROFESSIONAL.

**ARCHITECTURAL SITE PLAN KEYNOTES**

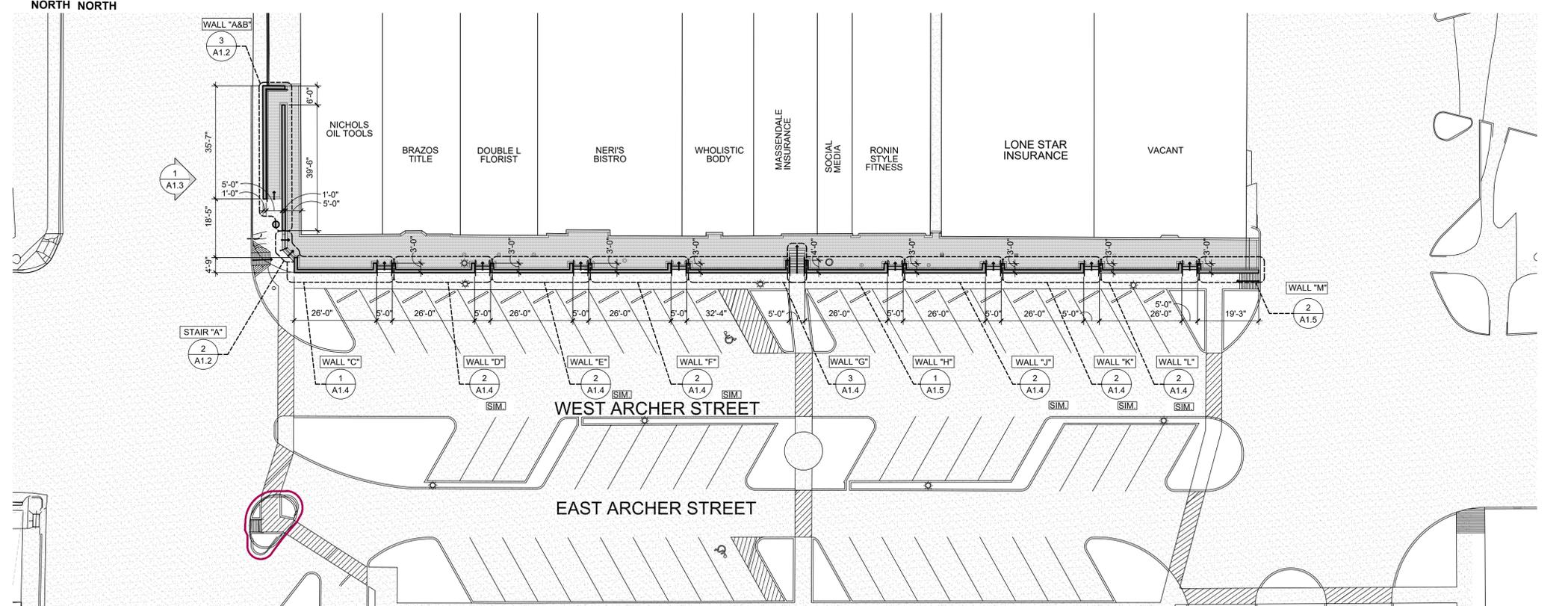
- 1 PROVIDE PLYWOOD PANELS TO COVER AT ALL OPENINGS OF THE RETAIL SPACES OF THE BUILDING TO PREVENT DAMAGE DURING THE CONSTRUCTION DEMOLITION PROCESS.
- 2 CUT AND REMOVE ALL OF THE METAL RAILINGS FROM THE PLATFORM.
- 3 SAW-CUT AROUND CITY UTILITY POLES AND ROOF CANOPIES TO RETAIN THEIR STRUCTURAL INTEGRITY OF THE VERTICAL FIXTURE WITH SUITABLE CLEARANCE ADVISED BY THE PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO DEMOLITION OF THE CONCRETE PLATFORM AND SIDEWALK.
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- 6 DEMOLISH AND REMOVE CONCRETE SIDEWALK PLATFORM, REBAR AND ASSOCIATED DEBRIS TO BE DISPOSED AT AN APPROVED OFFSITE LOCATION. REFER TO CIVIL FOR LIMITS OF DEMOLITION.
- 7 SAW-CUT AND SALVAGE EXISTING UTILITY POLE FOR REUSE IN NEW CONSTRUCTION.



**3 ENLARGED ARCHITECTUTRAL SITE PLAN WALLS "A" AND "B"**  
 A1.2 SCALE: 1/2" = 1'-0"  
 TRUE PLAN NORTH NORTH

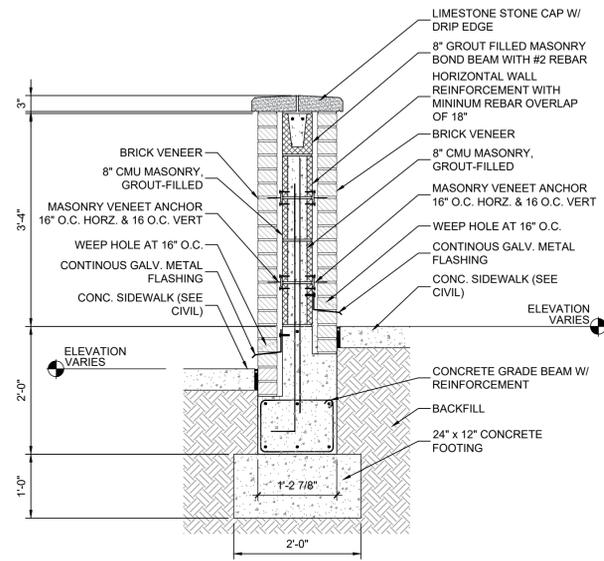


**2 ENLARGED STAIR "A" PLAN**  
 A1.2 SCALE: 1/2" = 1'-0"  
 TRUE PLAN NORTH NORTH

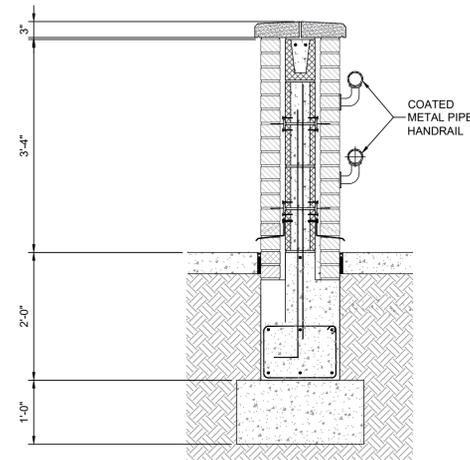


**1 ARCHITECTUTRAL SITE PLAN**  
 A1.2 SCALE: 1" = 20'-0"  
 TRUE PLAN NORTH NORTH

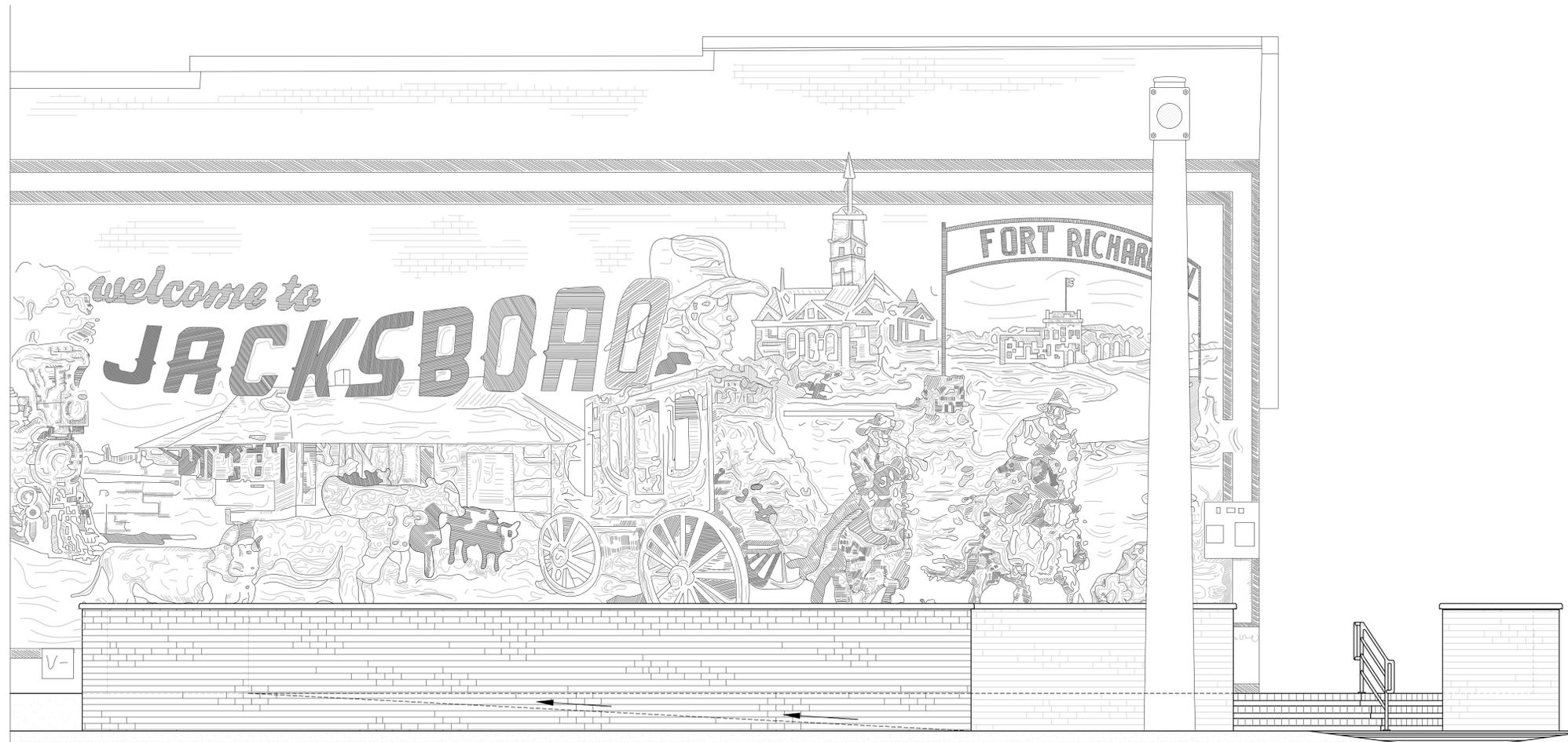
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**3 TYPICAL BARRIER WALL SECTION**  
 A1.3 SCALE: 3/4" = 1'-0"



**2 TYPICAL ADA RAILING SECTION**  
 A1.3 SCALE: 3/4" = 1'-0"



**1 WEST FACADE WALL ELEVATION**  
 A1.3 SCALE: 3/8" = 1'-0"



04/10/2024

TDLR # TABS2024010701

JACKSBORO SQUARE SITE  
 IMPROVEMENTS

JACKSBORO SQUARE  
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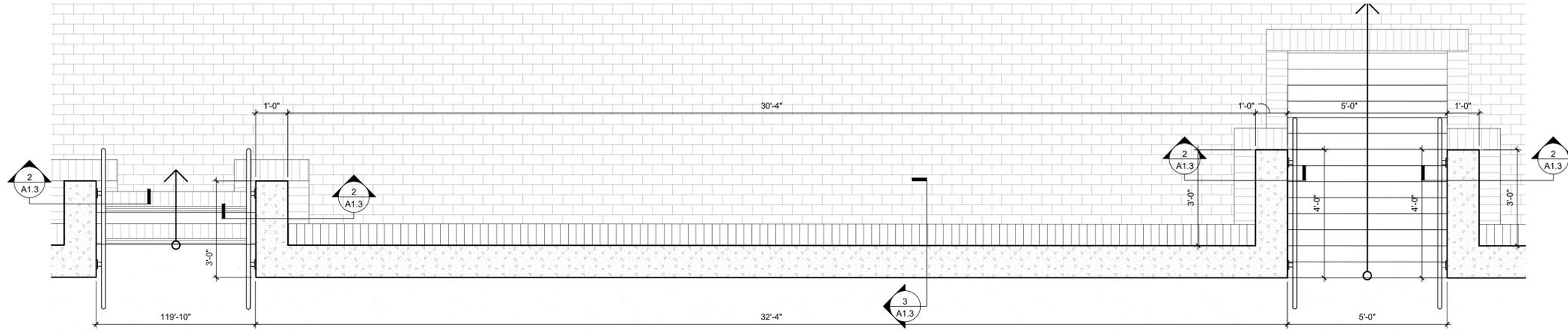
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 Checked By: XXX  
 Designed By: XXX

Issue Record		
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	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

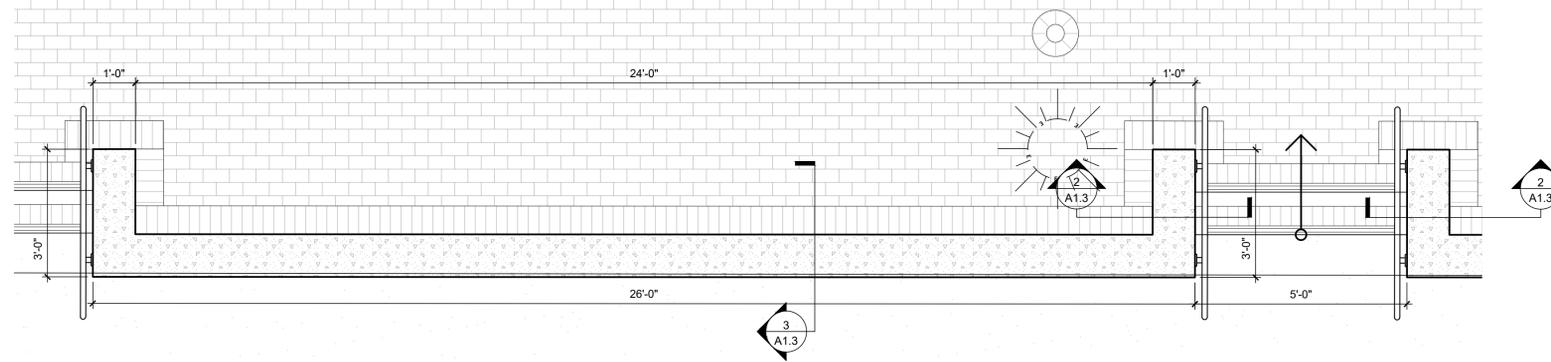
DESIGN PHASE

ARCHITECTURAL SITE  
 ELEVATIONS AND  
 DETAILS

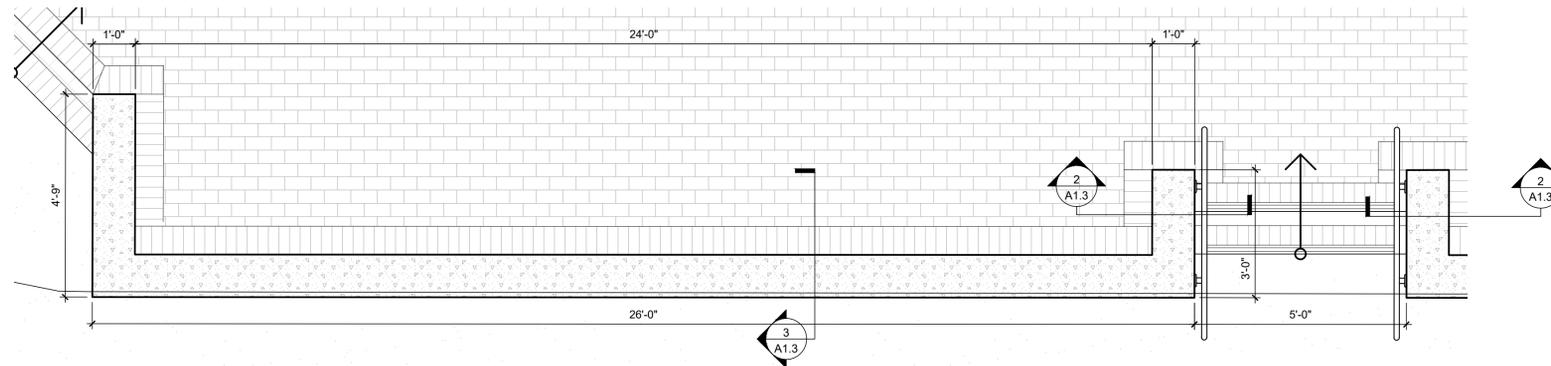
**A1.3**



**3 ENLARGED BARRIER WALL "G" PLAN**  
 TRUE PLAN NORTH NORTH  
 SCALE: 1/2" = 1'-0"



**2 ENLARGED BARRIER WALL "D,E,F,J,K,L" PLAN**  
 TRUE PLAN NORTH NORTH  
 SCALE: 1/2" = 1'-0"



**1 ENLARGED BARRIER WALL "C" PLAN**  
 TRUE PLAN NORTH NORTH  
 SCALE: 1/2" = 1'-0"



04/10/2024  
 TDLR # TABS2024010701

JACKSBORO SQUARE SITE IMPROVEMENTS

JACKSBORO SQUARE JACKSBORO, TX 76458

11/14/2023 12:29:21 PM  
 Issued Date: 11/20/2023  
 Project No: 230235

Drawn By: XXX  
 Checked By: XXX  
 Designed By: XXX

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30%	Constr. Docs.	11/20/2023
	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

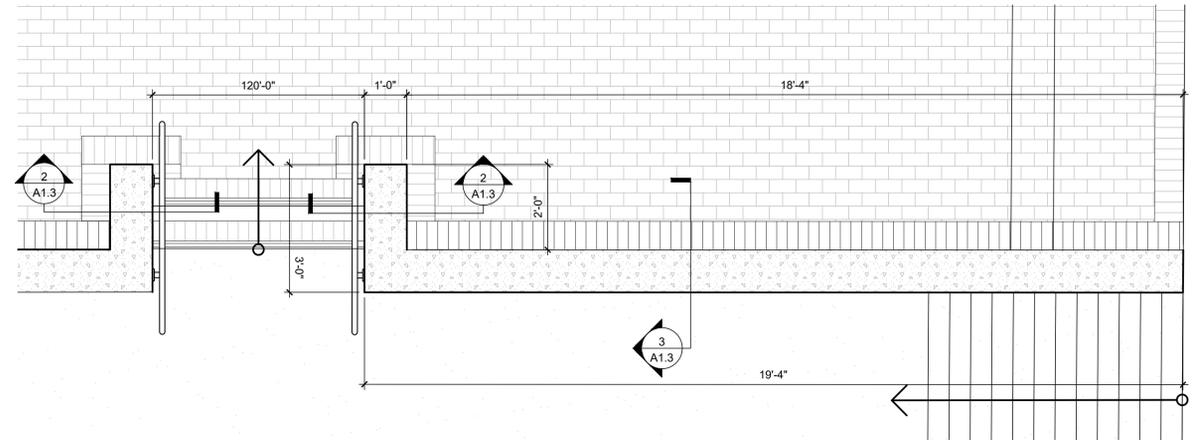
DESIGN PHASE

ARCHITECTURAL ENLARGED SITE PLANS

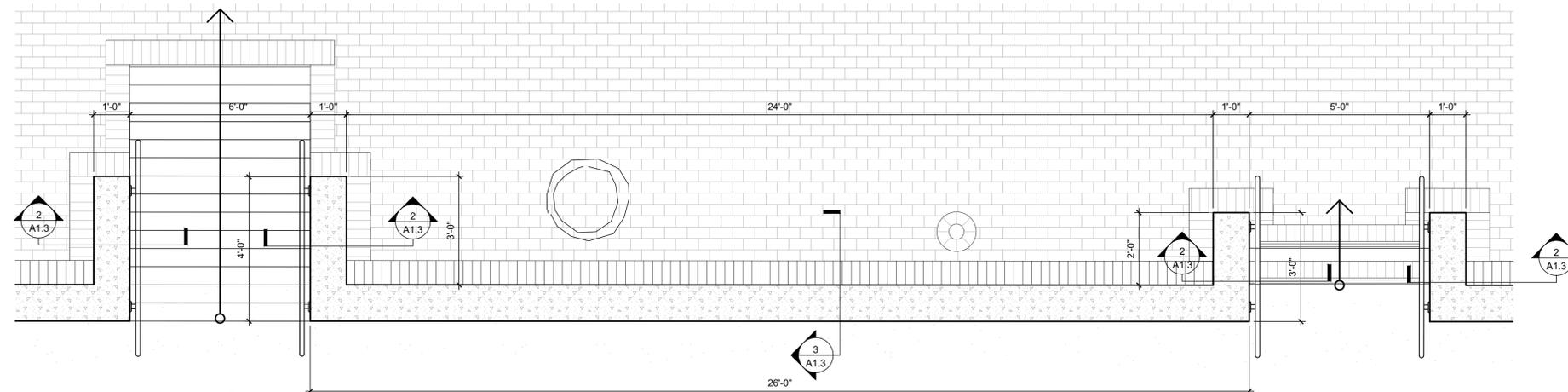
**A1.4**



04/10/2024  
 TDLR # TABS2024010701



**2 ENLARGED BARRIER WALL "M" PLAN**  
 SCALE: 1/2" = 1'-0"  
 TRUE PLAN NORTH NORTH



**1 ENLARGED BARRIER WALL "H" PLAN**  
 SCALE: 1/2" = 1'-0"  
 TRUE PLAN NORTH NORTH

JACKSBORO SQUARE SITE  
 IMPROVEMENTS

JACKSBORO SQUARE  
 JACKSBORO, TX 76458

11/14/2023 12:29:21 PM  
 Issued Date: 11/20/2023  
 Project No: 230235

Drawn By: XXX  
 Checked By: XXX  
 Designed By: XXX

Issue Record		
#	Description	Date
30%	Constr. Docs.	11/20/2023
	Bid Set	02/02/2024
	Revised Bid Set	04/10/2024

DESIGN PHASE

ARCHITECTURAL  
 ENLARGED SITE PLANS

**A1.5**